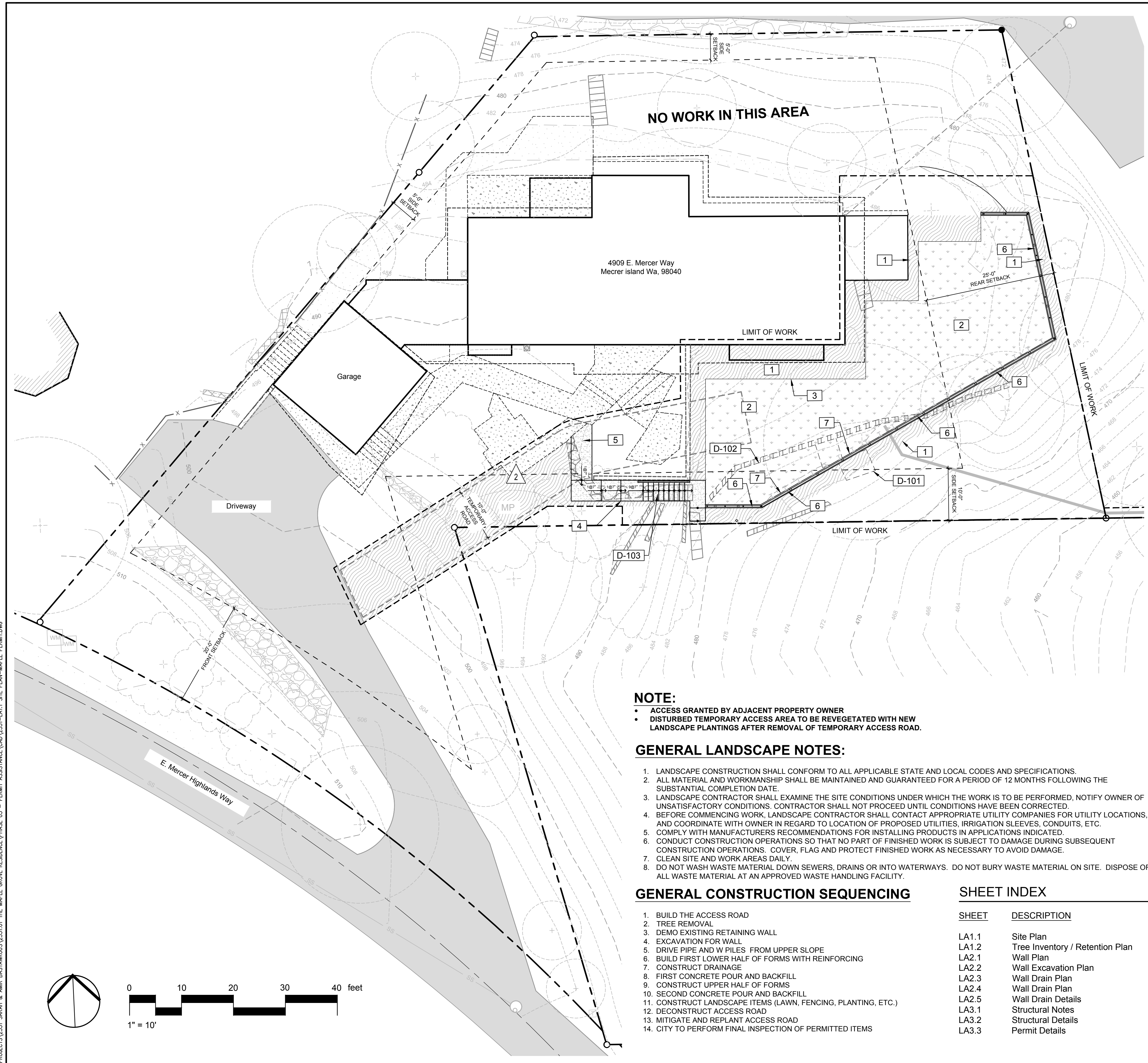


Apr 08, 2024, 3:19:01pm - User: rshah@scjstudio.com
 N:\PROJECTS\2551 SARAHI & AMIR BASTAWOUS\2551.LOT THE MAPLE GROVE RESIDENCE\PHASE 03 - PERMIT ASSISTANCE\CAD\2551-LA1.1 SITE PLAN-MAPLE PERMITTING



NO WORK IN THIS AREA

4909 E. Mercer Way
 Mercer Island Wa, 98040

NOTE:

- ACCESS GRANTED BY ADJACENT PROPERTY OWNER
- DISTURBED TEMPORARY ACCESS AREA TO BE REVEGETATED WITH NEW LANDSCAPE PLANTINGS AFTER REMOVAL OF TEMPORARY ACCESS ROAD.

GENERAL LANDSCAPE NOTES:

1. LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SPECIFICATIONS.
2. ALL MATERIAL AND WORKMANSHIP SHALL BE MAINTAINED AND GUARANTEED FOR A PERIOD OF 12 MONTHS FOLLOWING THE SUBSTANTIAL COMPLETION DATE.
3. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, NOTIFY OWNER OF UNSATISFACTORY CONDITIONS. CONTRACTOR SHALL NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
4. BEFORE COMMENCING WORK, LANDSCAPE CONTRACTOR SHALL CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH OWNER IN REGARD TO LOCATION OF PROPOSED UTILITIES, IRRIGATION SLEEVES, CONDUITS, ETC.
5. COMPLY WITH MANUFACTURERS RECOMMENDATIONS FOR INSTALLING PRODUCTS IN APPLICATIONS INDICATED.
6. CONDUCT CONSTRUCTION OPERATIONS SO THAT NO PART OF FINISHED WORK IS SUBJECT TO DAMAGE DURING SUBSEQUENT CONSTRUCTION OPERATIONS. COVER, FLAG AND PROTECT FINISHED WORK AS NECESSARY TO AVOID DAMAGE.
7. CLEAN SITE AND WORK AREAS DAILY.
8. DO NOT WASH WASTE MATERIAL DOWN SEWERS, DRAINS OR INTO WATERWAYS. DO NOT BURY WASTE MATERIAL ON SITE. DISPOSE OF ALL WASTE MATERIAL AT AN APPROVED WASTE HANDLING FACILITY.

GENERAL CONSTRUCTION SEQUENCING

1. BUILD THE ACCESS ROAD
2. TREE REMOVAL
3. DEMO EXISTING RETAINING WALL
4. EXCAVATION FOR WALL
5. DRIVE PIPE AND W PILES FROM UPPER SLOPE
6. BUILD FIRST LOWER HALF OF FORMS WITH REINFORCING
7. CONSTRUCT DRAINAGE
8. FIRST CONCRETE POUR AND BACKFILL
9. CONSTRUCT UPPER HALF OF FORMS
10. SECOND CONCRETE POUR AND BACKFILL
11. CONSTRUCT LANDSCAPE ITEMS (LAWN, FENCING, PLANTING, ETC.)
12. DECONSTRUCT ACCESS ROAD
13. MITIGATE AND REPLANT ACCESS ROAD
14. CITY TO PERFORM FINAL INSPECTION OF PERMITTED ITEMS

SHEET INDEX

SHEET	DESCRIPTION
LA1.1	Site Plan
LA1.2	Tree Inventory / Retention Plan
LA2.1	Wall Plan
LA2.2	Wall Excavation Plan
LA2.3	Wall Drain Plan
LA2.4	Wall Drain Plan
LA2.5	Wall Drain Details
LA3.1	Structural Notes
LA3.2	Structural Details
LA3.3	Permit Details

PROJECT DATA:
 PARCEL#: 2162000230
 ZONING: R-15
 SITE ADDRESS: 4909 E. MERCER WAY.
 MERCER ISLAND, WA 98059
 EAST MERCER HIGHLANDS
 ADD LESS POR ELY OF LN BEG 18 FT W OF NE COR TH S
 09-26-31 E 96.13 FT TO SE COR & UND INT IN PVT RD

LOT SLOPE CALCULATIONS:
 HIGHEST ELEVATION OF LOT: 510'
 LOWEST ELEVATION OF LOT: 454'
 ELEVATION DIFFERENCE: 56'
 HORIZONTAL DISTANCE: 238'
 LOT SLOPE: 24%

LOT COVERAGE CALCULATIONS:

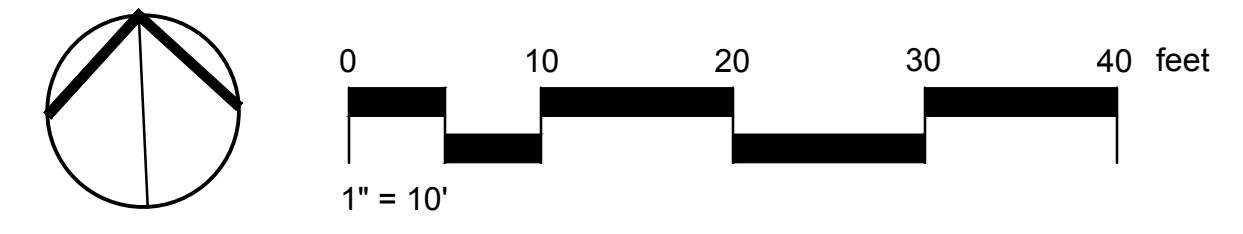
A. GROSS LOT AREA:	17,425 S.F.
B. NET LOT AREA:	17,425 S.F.
C. ALLOWED LOT COVERAGE AREA:	6,099 S.F.
D. ALLOWED LOT COVERAGE:	35%
E. EXISTING LOT COVERAGE AREA:	
1. MAIN STRUCTURE ROOF AREA:	3,625
2. ACCESSORY BUILDING ROOF AREA:	N/A
3. VEHICULAR USE DRIVEWAY	1,830
4. COVERED PATIOS / DECKS	N/A
5. TOTAL EXIST LOT COVERAGE (E1+E2+E3+E4)	5,455
F. LOT COVERAGE AREA REMOVED:	N/A
G. PROPOSED ADJUST FOR SINGLE STORY:	N/A
H. PROPOSED ADJUST FOR FLAG LOT:	N/A
I. TOTAL NEW LOT COVERAGE AREA:	
1. MAIN STRUCTURE ROOF AREA:	0
2. ACCESSORY BUILDING ROOF AREA:	0
3. VEHICULAR USE AREA	0
4. COVERED PATIO / DECKS:	0
5. TOTAL NEW LOT COVERAGE AREA (I1+I2+I3+I4)	5,455 S.F.
J. TOTAL PROJECT LOT COVERAGE AREA (E5-F)+I5	5,455 S.F.
K. PROPOSED LOT COVERAGE (J/B)X100	31.31%



HARDSCAPE CALCULATIONS:

A. GROSS LOT AREA:	17,425 S.F.
B. NET LOT AREA:	17,425 S.F.
C. AREA BORROWED FROM LOT COVERAGE	2,644 S.F.
D. ALLOWED HARDSCAPE AREA (9% OF LOT AREA+C):	12.69% OF LOT
E. ALLOWED HARDSCAPE AREA	2,212
F. TOTAL EXISTING HARDSCAPE AREA:	
1. UNCOVERED DECKS:	455
2. UNCOVERED PATIOS:	0
3. WALKWAYS:	1,315
4. STAIRS:	40
5. ROCKERIES AND RETAINING WALLS:	316
6. OTHER: RR TIE RETAINING WALL	57
7. TOTAL EXIST HARDSCAPE AREA (F1+F2+F3+F4+F5+F6):	2,183
G. HARDSCAPE AREA REMOVED:	209
H. TOTAL NEW HARDSCAPE AREA:	
1. UNCOVERED DECKS:	0 S.F.
2. UNCOVERED PATIOS:	0
3. WALKWAYS:	0
4. STAIRS:	152
5. ROCKERIES AND RETAINING WALLS:	78
6. OTHER:	0
7. TOTAL NEW HARDSCAPE: (H1+H2+H3+H4+H5+H6)	230 S.F.
I. TOTAL PROJECT HARDSCAPE: (F7-G)+H7	2,204 S.F.
J. TOTAL PROJECT HARDSCAPE: (I/B)X100	12.64%

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
[1]	PLANTING AREA	1,325 SF	
[2]	LAWN TERRACE	1,543 SF	
[3]	LANDSCAPE EDGING PERMALOC CLEANLINE	104 LF	
[4]	MILD STEEL STEPS WITH CRUSHED GRANITE INFILL	152 LF	3/LA3.3
[5]	CRUSHED GRANITE PATH 4" DEPTH	160 SF	3/LA3.3
[6]	PROPOSED C.I.P. CONCRETE RETAINING WALL NATURAL COLOR AND FINISH SEE SHEET LA3.1 & LA3.2 FOR DETAILS	220 LF	
[7]	CABLE GUARD RAIL AND GATE MILD STEEL RUSTED FINISH STAINLESS STEEL WIRE AND HARDWARE	52 LF	1/LA3.3
SYMBOL	DEMOLITION DESCRIPTION	QTY	DETAIL
[D-101]	REMOVE EXISTING PLAY STRUCTURE		
[D-102]	REMOVE FAILING RAILROAD TIE RETAINING WALL		
[D-103]	REMOVE WOOD STAIRS		



	BY	KJ	RR	RR	RR		
	DATE	10/17/2019	11/23/2020	3/10/2021	4/08/2021		
	REVISIONS	PERMIT PLAN	PERMIT PLAN - 2ND SUBMITTAL	PERMIT PLAN - 3RD SUBMITTAL	PERMIT PLAN - 3RD SUBMITTAL CORRECTION		
		△	△	△	△		
							
<p>1148 NW LEARY WAY, SEATTLE, WA 98107 P: 206.706.1664 SCJSTUDIO.COM</p>							
<p>Site Plan</p>				<p>Maple Grove Residence 4909 E. Mercer Way Mercer Island, WA 98040</p>			
							
<p>DESIGNER: KJ DRAWN BY: RR APPROVED BY: MG DATE: April 8, 2021 JOB No: 2551 DRAWING FILE No: DRAWING No: LA1.1 SHEET No: 1 OF 10</p>							

Apr 08, 2021 3:19:53pm - User: rebeccah@scj N:\PROJECTS\2551 SARAH & AMR BASTAROS\2551.01 THE MAPLE GROVE RESIDENCE\PHASE 03 - PERMIT ASSISTANCE\CAD\2551-LA1.2 TREE RETENTION PLAN-MAPLE PERM.DWG



NOTE:
 • 3" CALIPER MULTI-TRUNK JAPANESE MAPLE TO BE REMOVED AND REPLACED WITH TREE SUBJECT TO NURSERY AVAILABILITY THAT IS ALIKE IN KIND AND SIZE
 • ACCESS GRANTED BY ADJACENT PROPERTY OWNER
 • DISTURBED TEMPORARY ACCESS AREA TO BE REVEGETATED WITH NEW LANDSCAPE PLANTINGS AFTER REMOVAL OF TEMPORARY ACCESS ROAD.



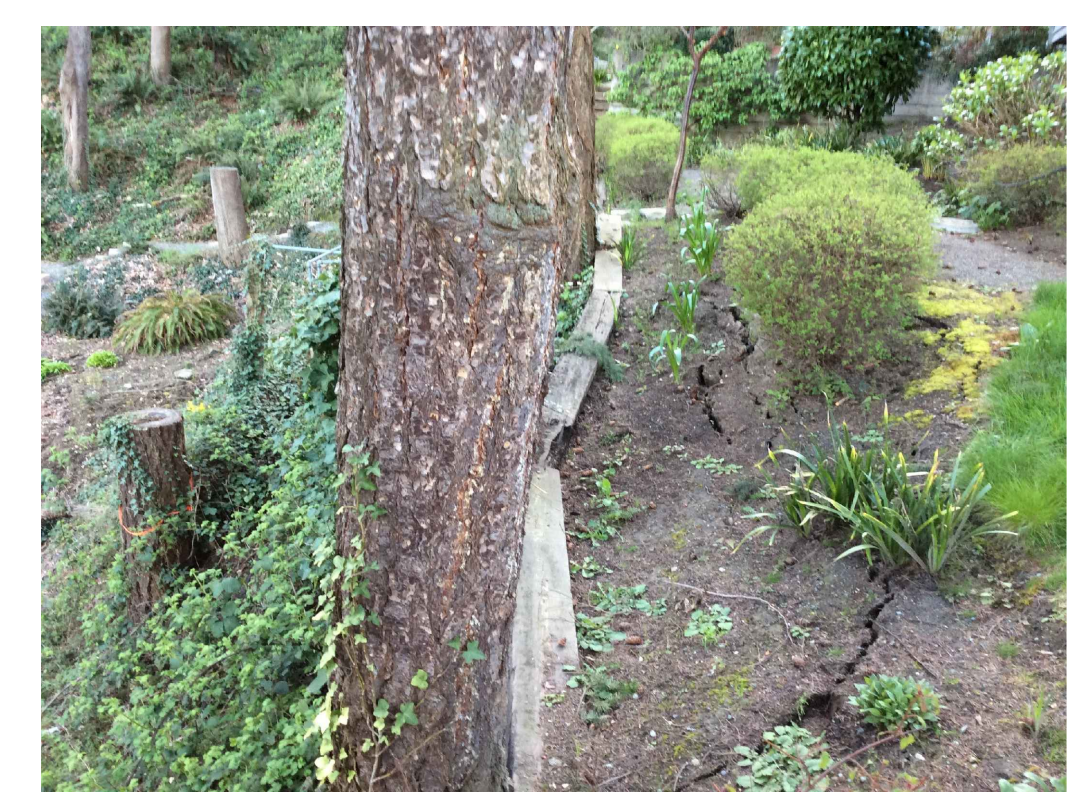
TREES #3, #4, & #5



TREES #3



TREES #4



VISIBLE FAILURE OF SLOPE



TREES #5

Tree Inventory / Retention Schedule

Tree #	Species	Latin Name	DBH	Appr. Ht.	Condition	Drip line Radius	Req'd Replacement Trees	Retention yes/no
DF1	Fir	<i>Pseudotsuga menziesii</i>	32"	110'	Fair	13'	N/A	YES
DF2	Fir	<i>Pseudotsuga menziesii</i>	44"	120'	Good	18'	N/A	YES
DF3	Fir	<i>Pseudotsuga menziesii</i>	43"	120'	Good	18'	6	NO
DF4	Fir	<i>Pseudotsuga menziesii</i>	17"	90'	Fair	10'	2	NO
DF5	Fir	<i>Pseudotsuga menziesii</i>	25"	95'	Fair	13'	3	NO
DF6	Fir	<i>Pseudotsuga menziesii</i>	13"	65'	Fair	11'	N/A	YES
DF7	Fir	<i>Pseudotsuga menziesii</i>	38"	120'	Good	18'	N/A	YES
DF8	Fir	<i>Pseudotsuga menziesii</i>	23"	95'	Fair	13'	N/A	YES
DF9	Fir	<i>Pseudotsuga menziesii</i>	16"	85'	Fair	11'	N/A	YES
DF10	Fir	<i>Pseudotsuga menziesii</i>	25"	80'	Good	13'	N/A	YES
DF11	Fir	<i>Pseudotsuga menziesii</i>	18"	85'	Fair	11'	N/A	YES
CE12	Cedar	<i>Thuja plicata</i>	16"	75'	Good	10'	N/A	YES
CE13	Cedar	<i>Thuja plicata</i>	18"	60'	Fair	8'	N/A	YES
CE14	Cedar	<i>Thuja plicata</i>	20"	70'	Good	10'	N/A	YES
CE15	Cedar	<i>Thuja plicata</i>	18"	60'	Fair	8'	N/A	YES
CE16	Cedar	<i>Thuja plicata</i>	16"	60'	Fair	8'	N/A	YES

Note: Replacement trees shall be conifers at least 6' tall and / or deciduous trees at least 1-1/2" Caliper
 CE = CEDAR
 DF = DOUGLAS FIR
 MP = MAPLE
 PL = PLUM

REVISIONS 1 PERMIT PLAN 2 PERMIT PLAN - 2ND SUBMITTAL 3 PERMIT PLAN - 3RD SUBMITTAL 4 PERMIT PLAN - 3RD SUBMITTAL CORRECTION	BY	KJ	RR	RR	RR	RR	
	DATE	10/17/2019	11/23/2020	3/10/2021	4/08/2021		
	SCJ STUDIO LANDSCAPE ARCHITECTURE						
	1148 NW LEARY WAY, SEATTLE, WA 98107 P. 206.706.1466 SCJSTUDIO.COM						
SHEET TITLE: Tree Inventory / Retention Plan PROJECT NAME: Maple Grove Residence 4909 E. Mercer Way Mercer Island, WA 98040							
DESIGNER: KJ DRAWN BY: RR APPROVED BY: MG DATE: April 8, 2021 JOB No: 2551 DRAWING FILE No: DRAWING No: LA1.2 SHEET No: 2 OF 10							

WALL SCHEDULE

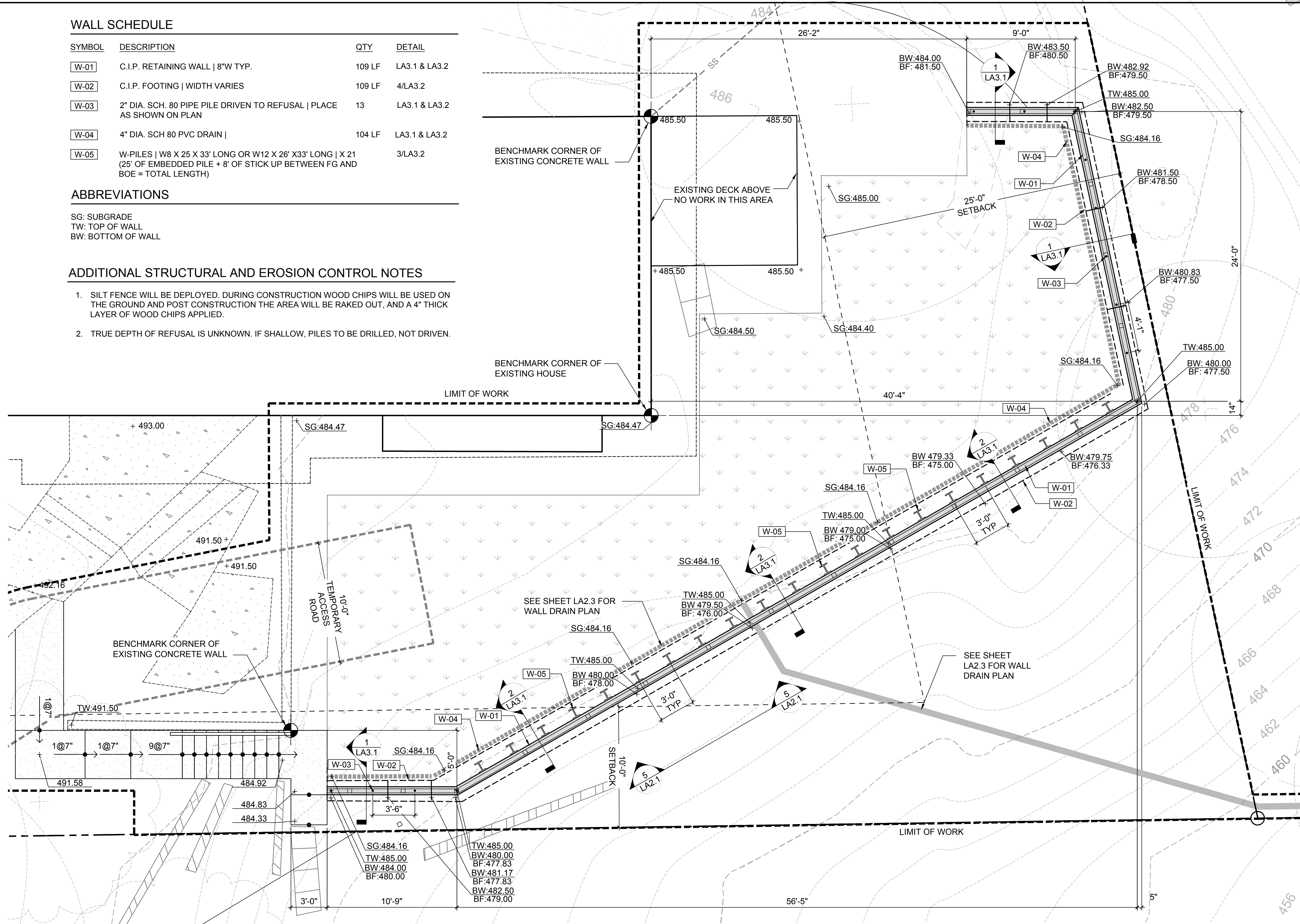
SYMBOL	DESCRIPTION	QTY	DETAIL
W-01	C.I.P. RETAINING WALL 8"W TYP.	109 LF	LA3.1 & LA3.2
W-02	C.I.P. FOOTING WIDTH VARIES	109 LF	4/LA3.2
W-03	2" DIA. SCH. 80 PIPE PILE DRIVEN TO REFUSAL PLACE AS SHOWN ON PLAN	13	LA3.1 & LA3.2
W-04	4" DIA. SCH 80 PVC DRAIN	104 LF	LA3.1 & LA3.2
W-05	W-PILES W8 X 25 X 33' LONG OR W12 X 26' X33' LONG X 21 (25' OF EMBEDDED PILE + 8' OF STICK UP BETWEEN FG AND BOE = TOTAL LENGTH)	3/LA3.2	

ABBREVIATIONS

SG: SUBGRADE
 TW: TOP OF WALL
 BW: BOTTOM OF WALL

ADDITIONAL STRUCTURAL AND EROSION CONTROL NOTES

- SILT FENCE WILL BE DEPLOYED. DURING CONSTRUCTION WOOD CHIPS WILL BE USED ON THE GROUND AND POST CONSTRUCTION THE AREA WILL BE RAKED OUT, AND A 4" THICK LAYER OF WOOD CHIPS APPLIED.
- TRUE DEPTH OF REFUSAL IS UNKNOWN. IF SHALLOW, PILES TO BE DRILLED, NOT DRIVEN.



Apr 08, 2021 3:21:14pm - User: rshah@scjstudio.com
 N:\PROJECTS\2551 SARAH & AMR BASTAWROS\2551.01 THE MAPLE GROVE RESIDENCE\PHASE 03 - PERMIT ASSISTANCE\CAD\2551-LA2.1 WALL PLAN-MARLE PERM.DWG

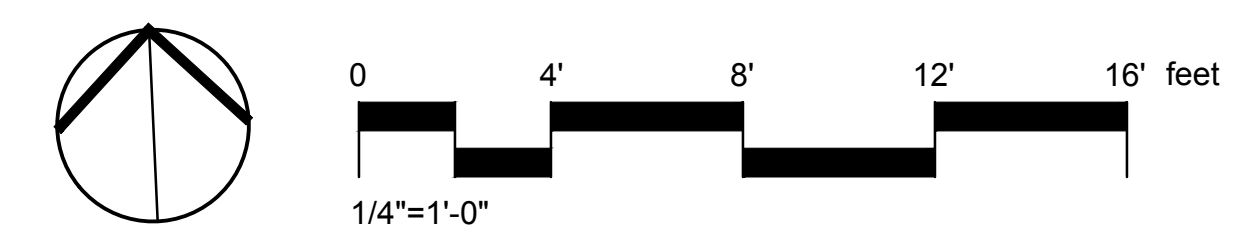
BY	KJ	RR	RR	RR
DATE	10/17/2019	1/23/2020	3/10/2021	4/08/2021
REVISIONS	PERMIT PLAN	PERMIT PLAN - 2ND SUBMITTAL	PERMIT PLAN - 3RD SUBMITTAL	PERMIT PLAN - 3RD SUBMITTAL CORRECTION
Δ	Δ	Δ	Δ	

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Wall Plan
 Maple Grove Residence
 4909 E. Mercer Way
 Mercer Island, WA 98040

SHEET TITLE: Wall Plan
 PROJECT NAME: Maple Grove Residence
 SEAL: [Professional Seal]

DESIGNER: KJ
 DRAWN BY: RR
 APPROVED BY: MG
 DATE: April 8, 2021
 JOB No: 2551
 DRAWING FILE No:
 DRAWING No: LA2.1
 SHEET No: 3 OF 10



WALL SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
W-01	C.I.P. RETAINING WALL 8"W TYP.	109 LF	LA3.1 & LA3.2
W-02	C.I.P. FOOTING WIDTH VARIES	109 LF	4/LA3.2
W-03	2" DIA. SCH. 80 PIPE PILE DRIVEN TO REFUSAL PLACE AS SHOWN ON PLAN	13	
W-04	4" DIA. SCH 80 PVC DRAIN	104 LF	
W-05	W-PILES W8 X 25 X 33' LONG OR W12 X 26' X33' LONG X 21 (25' OF EMBEDDED PILE + 8' OF STICK UP BETWEEN FG AND BOE = TOTAL LENGTH)	3/LA3.2	

EXCAVATION SCHEDULE

	STOCKPILE AREA (NOT SHOWN) 300' SF AREA IN DRIVEWAY TO BE ALLOCATED FOR STOCKPILE USE	SEE DETAIL 1, THIS SHEET
	SILT FENCE	SEE DETAIL 2, THIS SHEET
	LIMIT OF CUT	

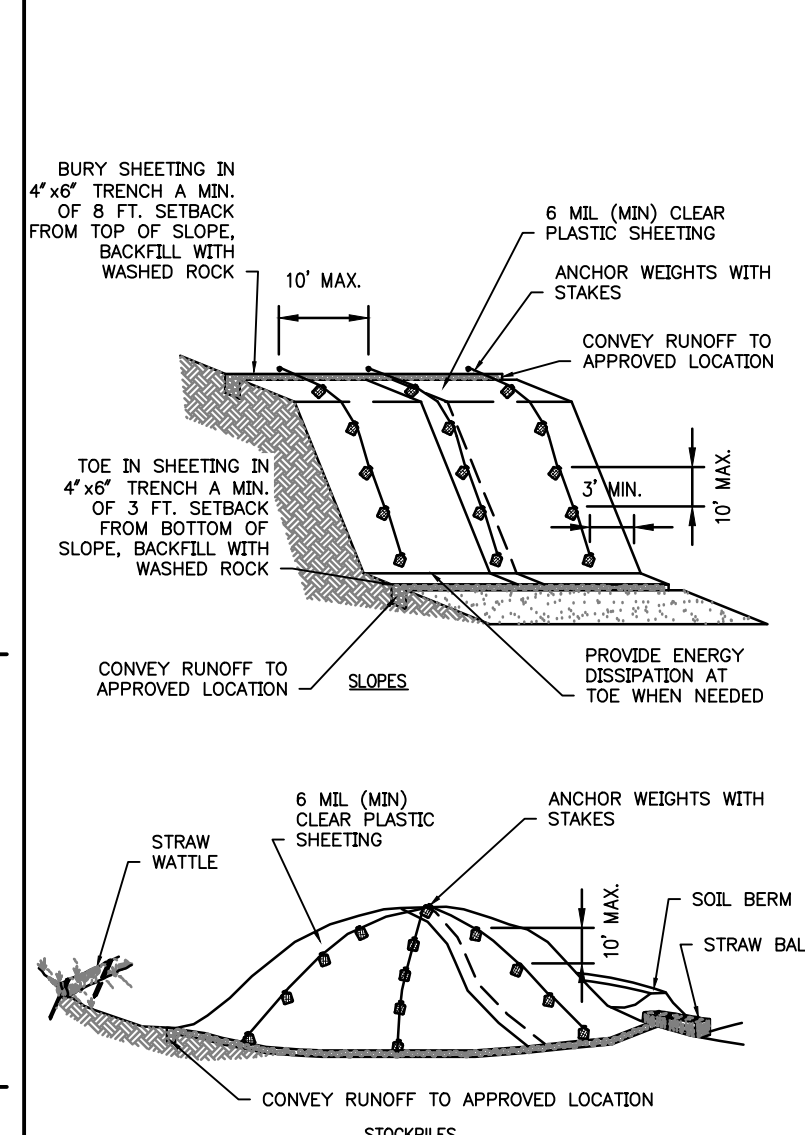
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 BF: BOTTOM OF FOOTING

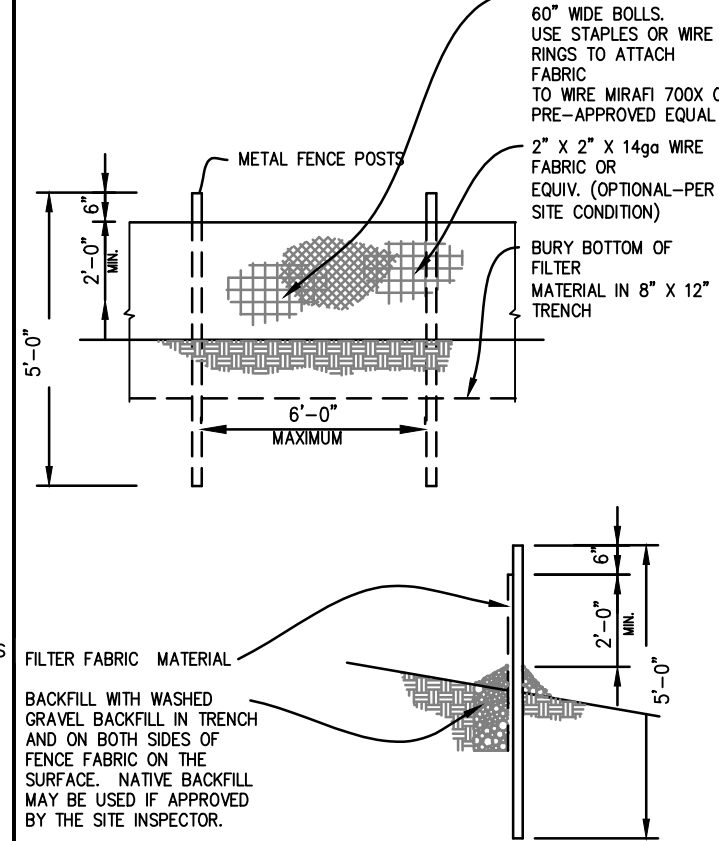
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STOCKPILE AND EXPOSED SLOPE COVERING

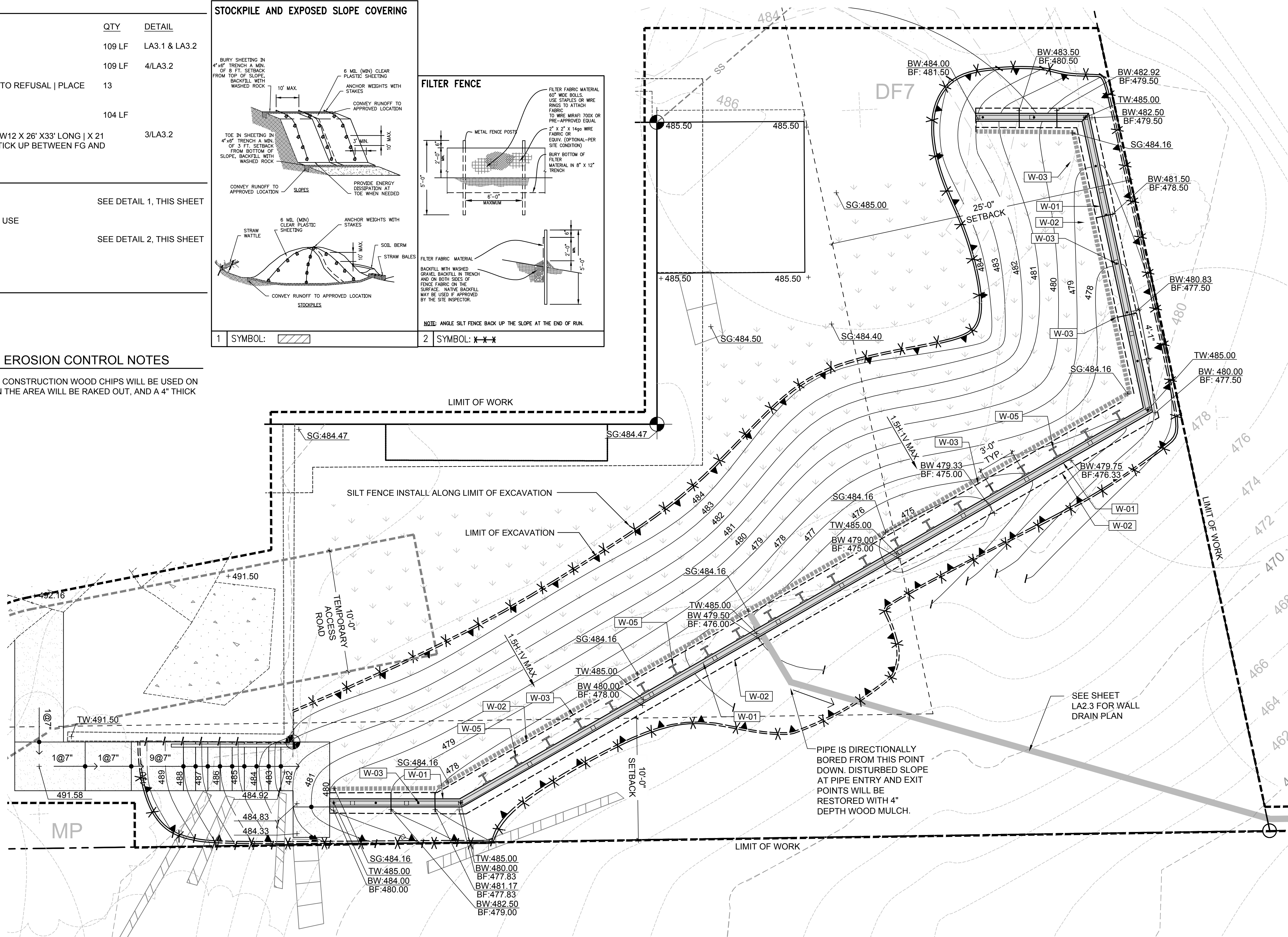


FILTER FENCE



1 SYMBOL:

2 SYMBOL:



Apr 08, 2021 3:24:12pm - User: rebeccah.norris
 N:\PROJECTS\2551 SARAH & AMR BASTAROUS\2551.01 THE MAPLE GROVE RESIDENCE\PHASE 03 - PERMIT ASSISTANCE\CAD\2551-LA2.2 WALL EXCAVATION PLAN-MAPLE PERMIT.DWG

REVISIONS	DATE	BY
PERMIT PLAN - 2ND SUBMITTAL	1/23/2020	KJ
PERMIT PLAN - 3RD SUBMITTAL	3/10/2021	RR
PERMIT PLAN - 3RD SUBMITTAL CORRECTION	4/08/2021	RR

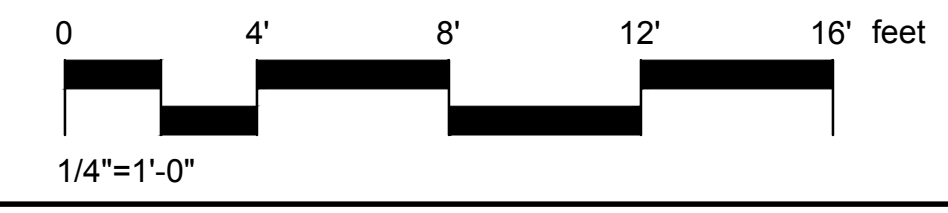
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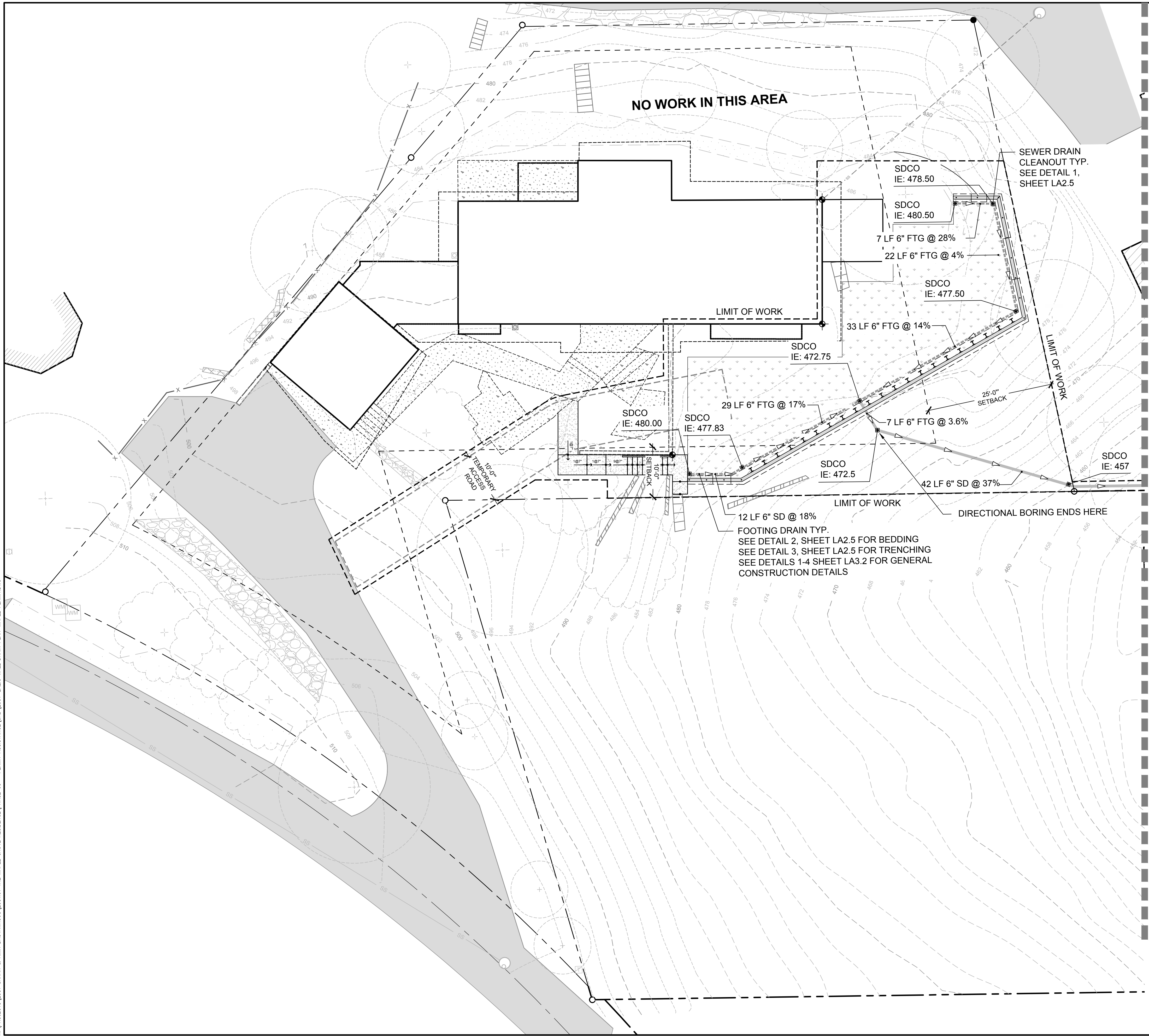
Wall Excavation Plan
 Maple Grove Residence
 4909 E. Mercer Way
 Mercer Island, WA 98040

STATE OF WASHINGTON
 MARK S. GARE
 LICENSED LANDSCAPE ARCHITECT
 NO. 9888 EXP. 01/08/2022

DESIGNER: KJ
 DRAWN BY: RR
 APPROVED BY: MG
 DATE: April 8, 2021
 JOB No: 2551
 DRAWING FILE No:
 DRAWING No: LA2.2
 SHEET No: 4 OF 10



Apr 08, 2021 3:24:09pm - User: rledwith.com
 N:\PROJECTS\2551 SARAH & AMR BASTARROS\2551.01 THE MAPLE GROVE RESIDENCE\PHASE 03 - PERMIT ASSISTANCE\CAD\2551-LA2.3 WALL DRAIN PLAN-MARLE PERM.DWG

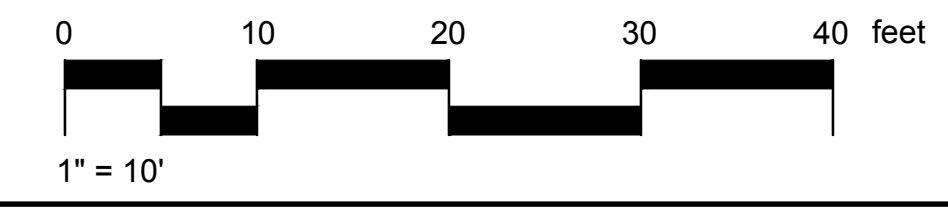
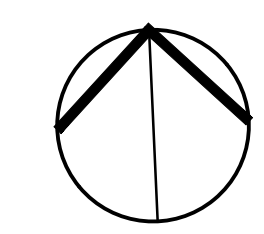


ABBREVIATIONS:

- CB: CATCH BASIN
- FTG: FOOTING DRAIN LINE
- IE: INVERT ELEVATION
- LF: LINEAR FEET
- SD: STORM DRAIN LINE
- SDCO: STORM DRAIN CLEANOUT

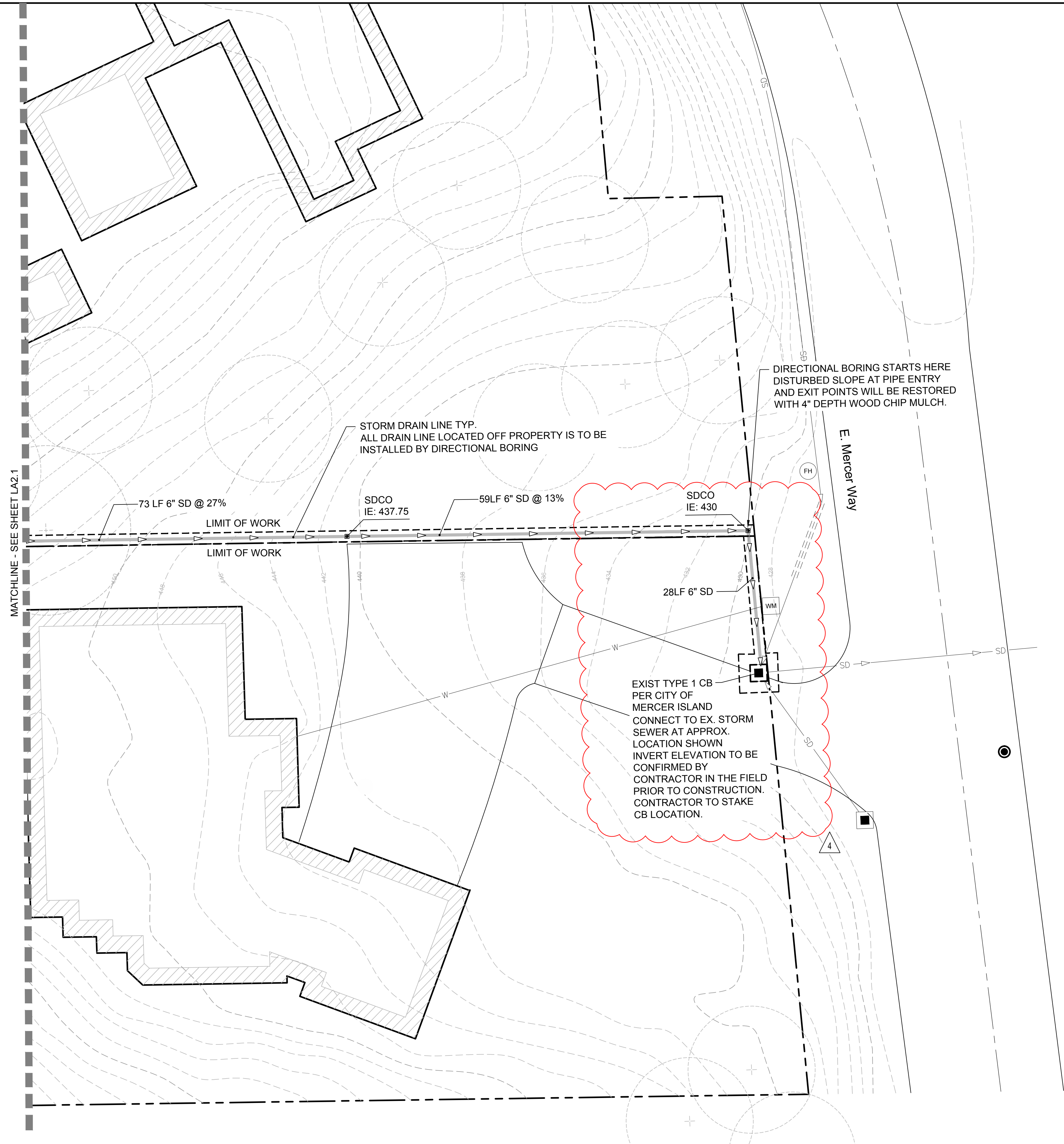
NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CITY OF MERCER ISLAND CURRENT STANDARD SPECIFICATINOS
2. CONTRACTOR TO PROVIDE AS-BUILT STORM SEWER SYSTEM TO CITY OF MERCER ISLAND UPON COMPLETION
3. UNLESS OTHERWISE NOTED SD PIPE SHALL BE 6" HDPE PIPE RIGID W/ SMOOTH WALL INTERIOR. SD SHALL BE AT 2.0% MINIMUM
3. UNLESS OTHERWISE NOTED FTG PIPE SHALL BE 6" SCH 80 PERFORATED DRAIN PIPE. FTG PIPE SHALL BE AT 2.0% MINIMUM
4. CONTRACTOR TO DIRECTIONAL BORE ALL PROPOSED PIPE LOCATIONS THAT ARE OFF PROPERTY
5. CONTRACTOR TO TUNNEL BORE OR AIR EXCAVATE WITHIN DRIPLINE OF TREES
6. CONTRACTOR TO ENGAGE CITY OF MERCER ISLAND ARBORIST WHILE PERFORMING GRADING WITHIN DRIPLINE OF TREES
7. ALL EXCAVATED SOILS NOT USED IN THE BACKFILL OF THE DRAINAGE TRENCH WILL NOT BE ALLOWED TO REMAIN ON THE SLOPE.
8. ALL DRILLING FLUID AND CUTTINGS ASSOCIATED WITH DIRECTIONAL DRILLING CANNOT BE DISPOSED OF ON SITE.



REVISIONS	DATE	BY
△	10/17/2019	KJ
△	11/23/2020	RR
△	3/10/2021	RR
△	4/08/2021	RR
PERMIT PLAN - 2ND SUBMITTAL		
PERMIT PLAN - 3RD SUBMITTAL		
PERMIT PLAN - 3RD SUBMITTAL CORRECTION		
1148 NW LEARY WAY, SEATTLE, WA 98107 P. 206.706.1664 SCJSTUDIOA.COM		
Wall Drain Plan Maple Grove Residence 4909 E. Mercer Way Mercer Island, WA 98040		
SHEET TITLE: PROJECT NAME: SEAL:		
DESIGNER: KJ DRAWN BY: RR APPROVED BY: MG DATE: April 8, 2021 JOB No: 2551 DRAWING FILE No: DRAWING No: LA2.3 SHEET No: 5 OF 10		

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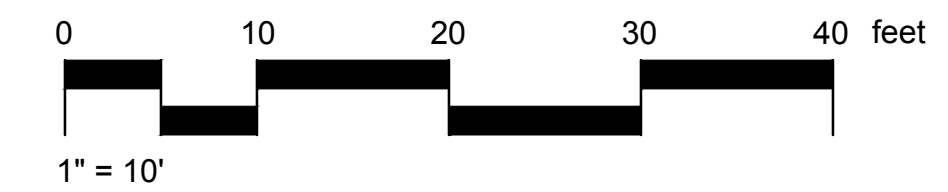
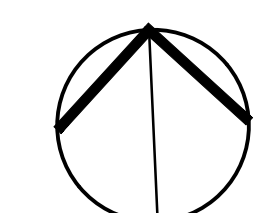


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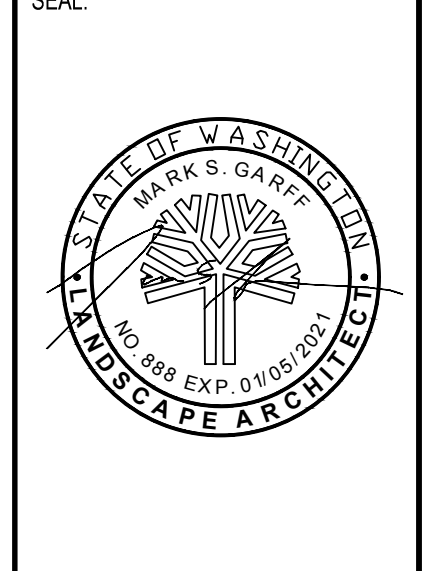
REVISIONS	DATE	BY
△ PERMIT PLAN	10/17/2019	KJ
△ PERMIT PLAN - 2ND SUBMITTAL	11/23/2020	RR
△ PERMIT PLAN - 3RD SUBMITTAL	3/10/2021	RR
△ PERMIT PLAN - 3RD SUBMITTAL CORRECTION	4/08/2021	RR

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 LANDSCAPE ARCHITECTURE

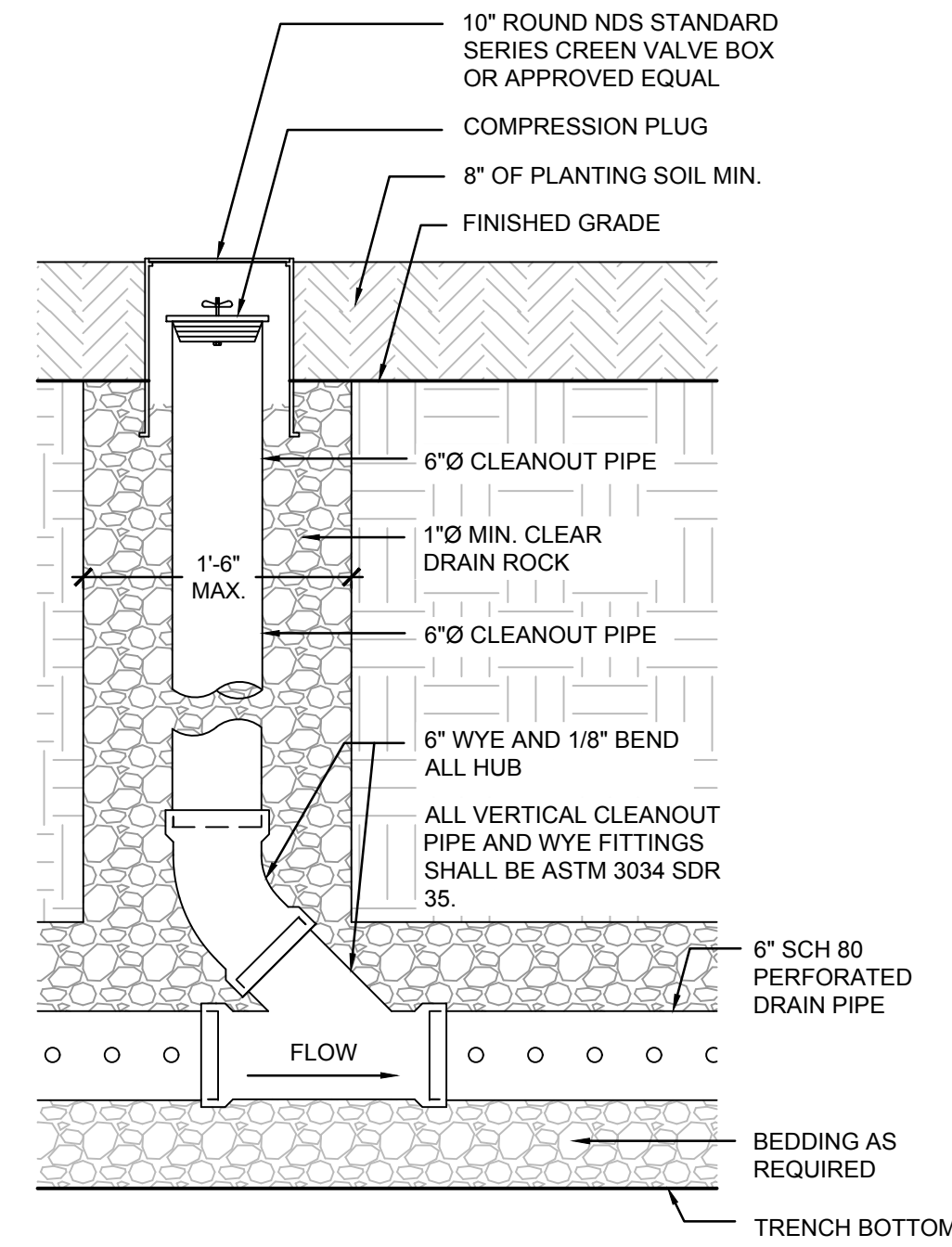
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Wall Drain Plan

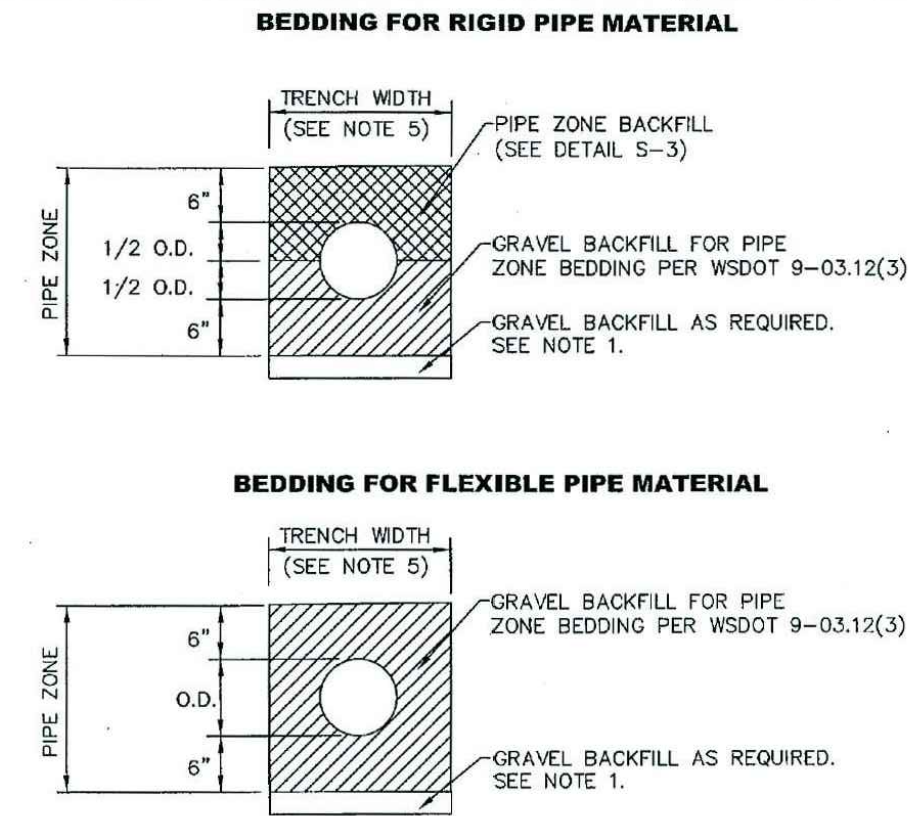
Maple Grove Residence
 4909 E. Mercer Way
 Mercer Island, WA 98040



DESIGNER:	KJ
DRAWN BY:	RR
APPROVED BY:	MG
DATE:	April 8, 2021
JOB No:	2551
DRAWING FILE No:	
DRAWING No:	LA2.4
SHEET No:	6 OF 10



1 STORM DRAIN CLEANOUT
 1" = 1'-0" P-RE-MAP1-16

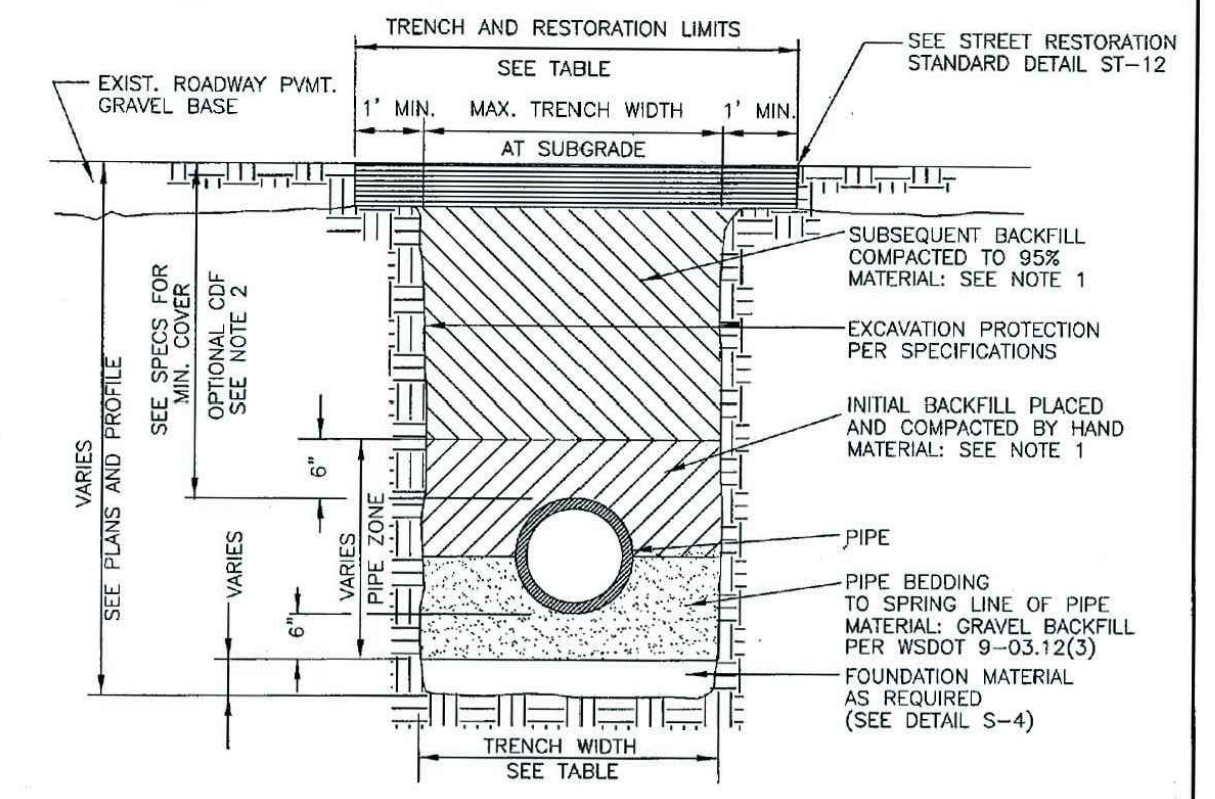


- NOTES**
- EXCAVATE UNSTABLE MATERIAL DOWN TO FIRM SOIL. REPLACE WITH GRAVEL BACKFILL PER WSDOT 9-03.12(3) AS DIRECTED BY THE CITY ENGINEER.
 - PROVIDE UNIFORM SUPPORT UNDER BARREL.
 - HAND TAMP UNDER HAUNCHES.
 - COMPACT BEDDING AND BACKFILL MATERIAL TO 95% MAX. DENSITY EXCEPT DIRECTLY OVER PIPE. HAND TAMP ONLY UNTIL MINIMUM 6" ABOVE TOP OF PIPE.
 - 30" MAXIMUM TRENCH WIDTH FOR PIPE UP TO AND INCLUDING 12". FOR PIPE LARGER THAN 12", USE O.D. PLUS 16".

CITY OF MERCER ISLAND
STANDARD DETAILS
 SEWER
PIPE BEDDING
 6-5-2009 NO SCALE **S-4**

REV	DATE	DESCRIPTION	APPROVED

2 STORM DRAIN PIPE BEDDING
 1" = 1'-0" P-RE-MAP1-17



- NOTES**
- ALL TRENCH BACKFILL IN PUBLIC RIGHT-OF-WAY OR ROADWAY AREAS SHALL BE CRUSHED SURFACING PER WSDOT 9-09.9(3) OR BANK RUN GRAVEL PER WSDOT 9-03.11(1), COMPACTED IN 6" LIFTS.
 - CDF FOR BACKFILL MAY BE REQUIRED BY CITY ENGINEER WHEN PROPER COMPACTION AROUND EXISTING UTILITIES MAY NOT BE POSSIBLE. CDF SHALL BE PER WSDOT 2-09.3(1).
 - SEE S-4 FOR PIPE BEDDING DETAILS.

PIPE SIZE	TRENCH WIDTH		
	PIPE ZONE MAX. TRENCH WIDTH	MAX. RESTORATION WIDTH AT SUBGRADE	MAX. RESTORATION WIDTH AT SURFACE
SIDE SEWER 2'-0"	2'-0"	2'-0"	6'-0"
4" OR 6"	2'-2"	3'-0"	8'-0"
8"	2'-4"	4'-0"	8'-0"
10"	2'-6"	4'-0"	8'-0"
12"	2'-8"	4'-6"	8'-6"

CITY OF MERCER ISLAND
STANDARD DETAILS
 SEWER
TRENCH DETAIL
 6-5-2009 NO SCALE **S-3**

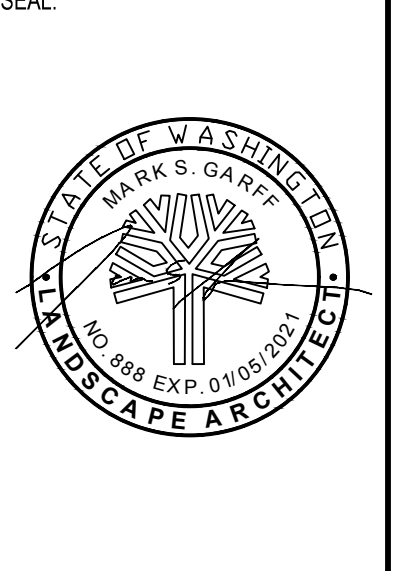
REV	DATE	DESCRIPTION	APPROVED

3 STORM DRAIN PIPE TRENCHING
 1" = 1'-0" P-RE-MAP1-18

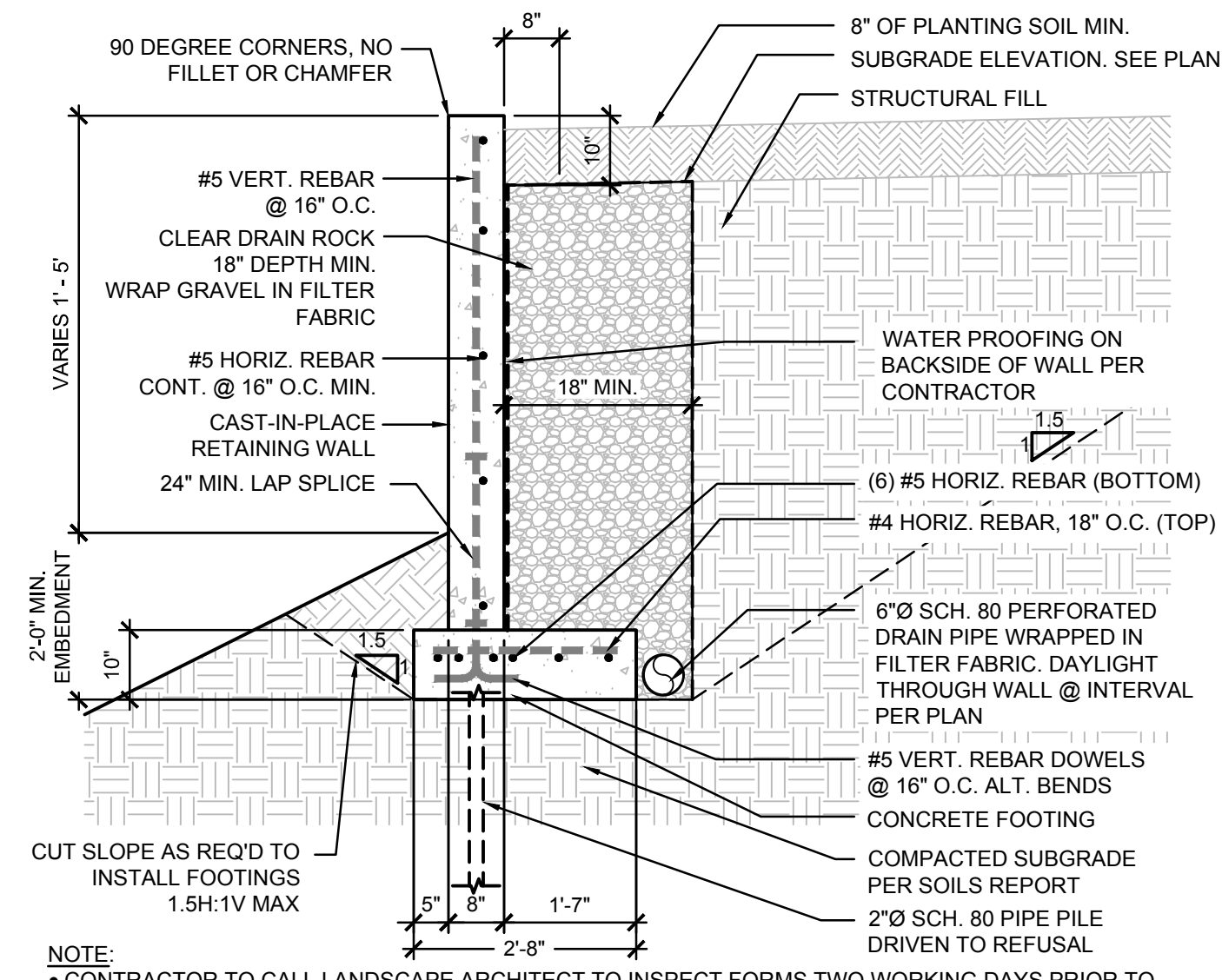
REVISIONS	DATE	BY
PERMIT PLAN - 2ND SUBMITTAL	10/17/2019	KJ
PERMIT PLAN - 3RD SUBMITTAL	11/23/2020	RR
PERMIT PLAN - 3RD SUBMITTAL CORRECTION	3/10/2021	RR
	4/08/2021	RR

SCJ STUDIO
 LANDSCAPE ARCHITECTURE
 1148 NW LEARY WAY, SEATTLE, WA 98107
 P. 206.706.1668
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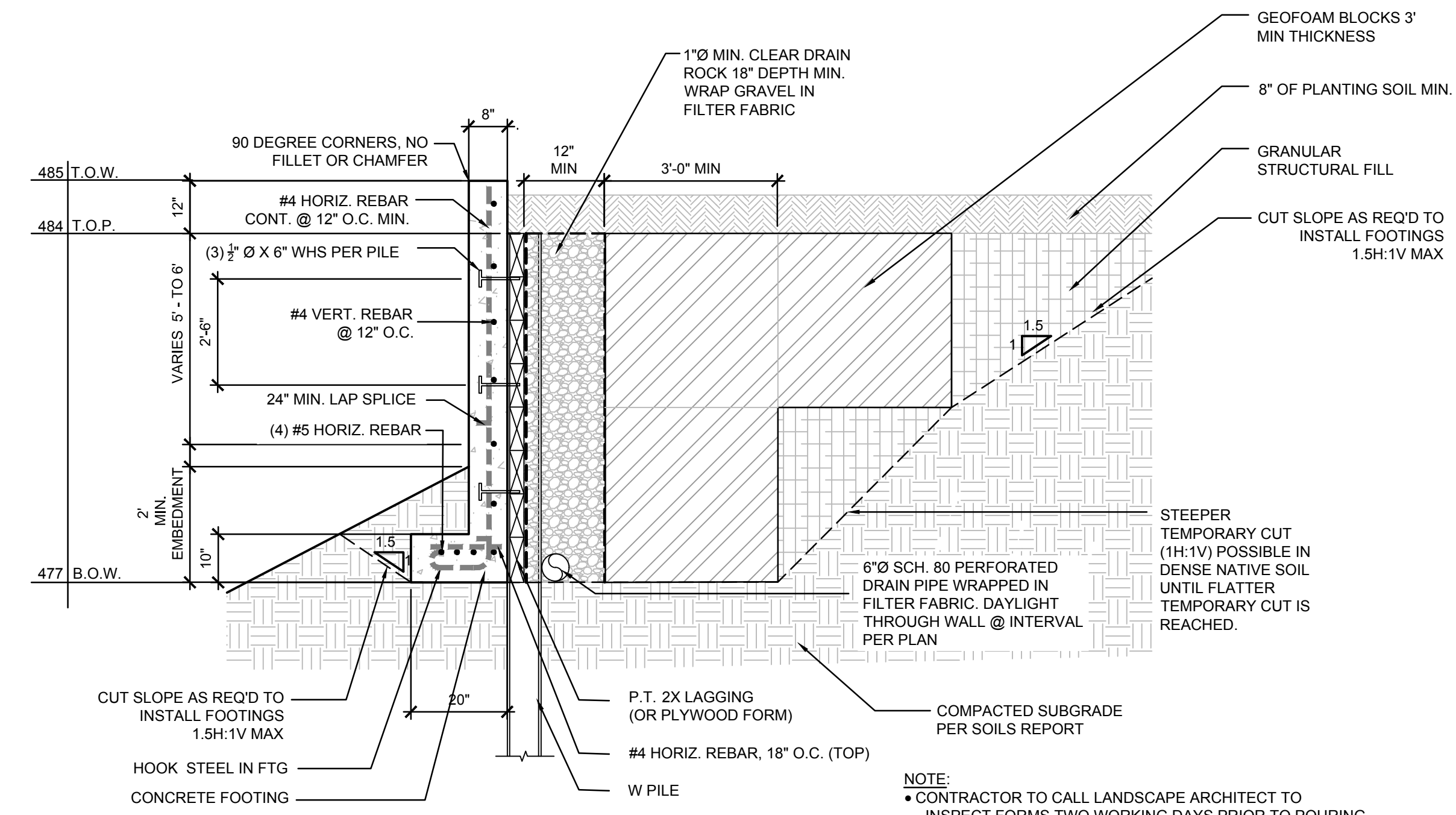
Wall Drain Details
Maple Grove Residence
 4909 E. Mercer Way
 Mercer Island, WA 98040



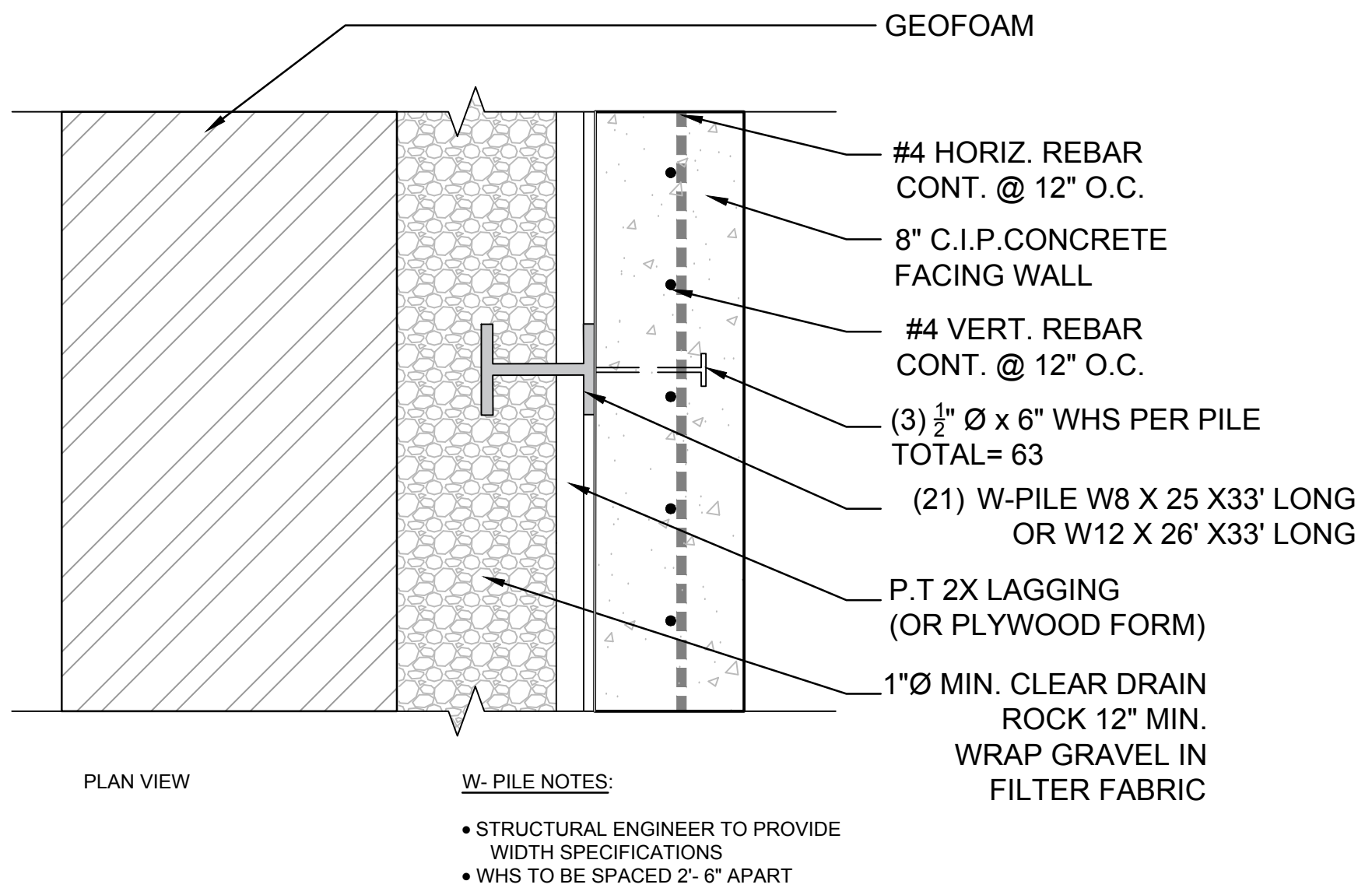
DESIGNER: KJ
 DRAWN BY: RR
 APPROVED BY: MG
 DATE: April 8, 2021
 JOB No: 2551
 DRAWING FILE No:
 DRAWING No: LA2.5
 SHEET No: 7 OF 10



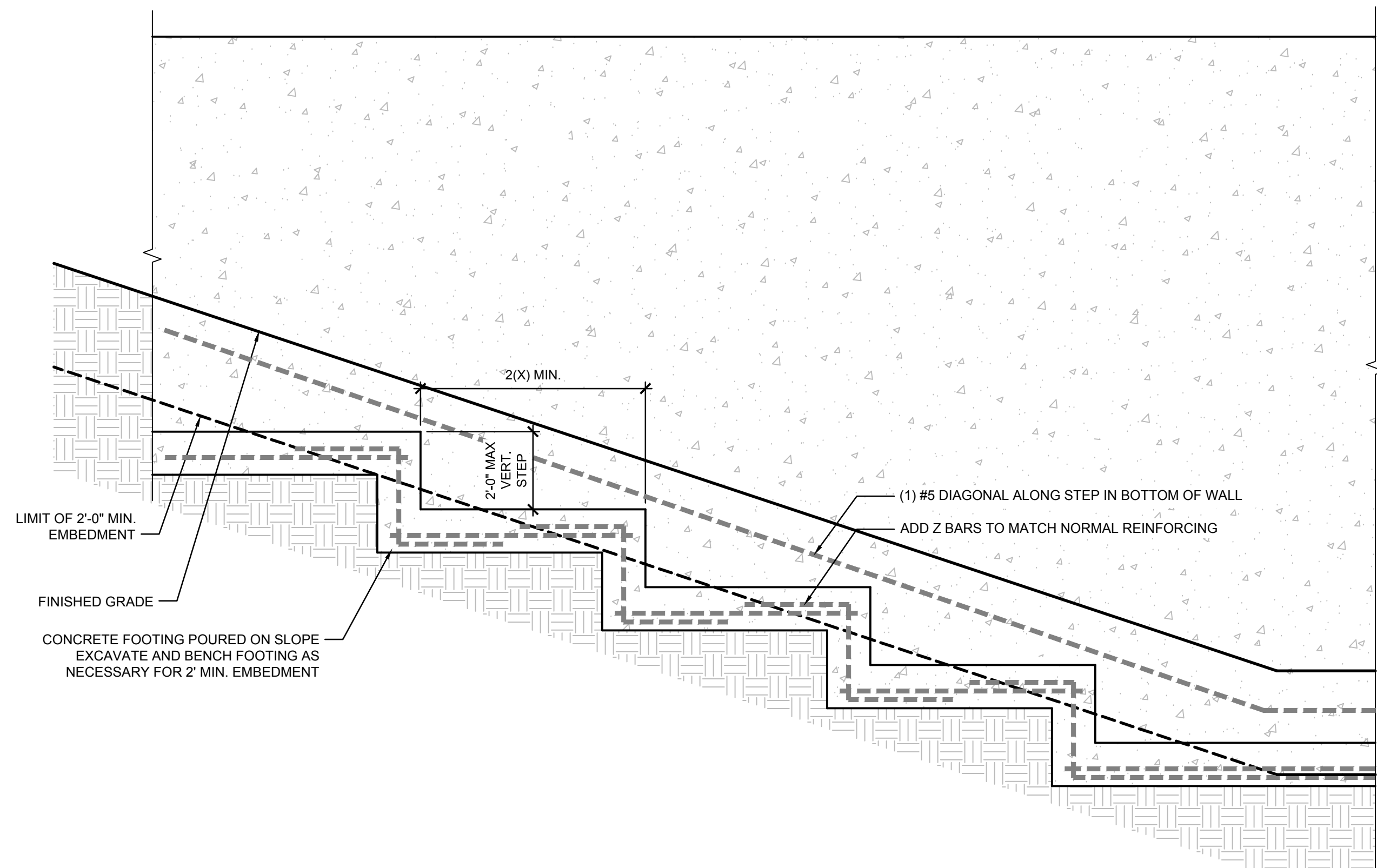
1 CAST-IN-PLACE RETAINING WALL - WITH PIPE PILE
1/2" = 1'-0" P-RE-MAP1-01



2 CAST-IN-PLACE RETAINING WALL - WITH W PILE
1/2" = 1'-0" P-RE-MAP1-03



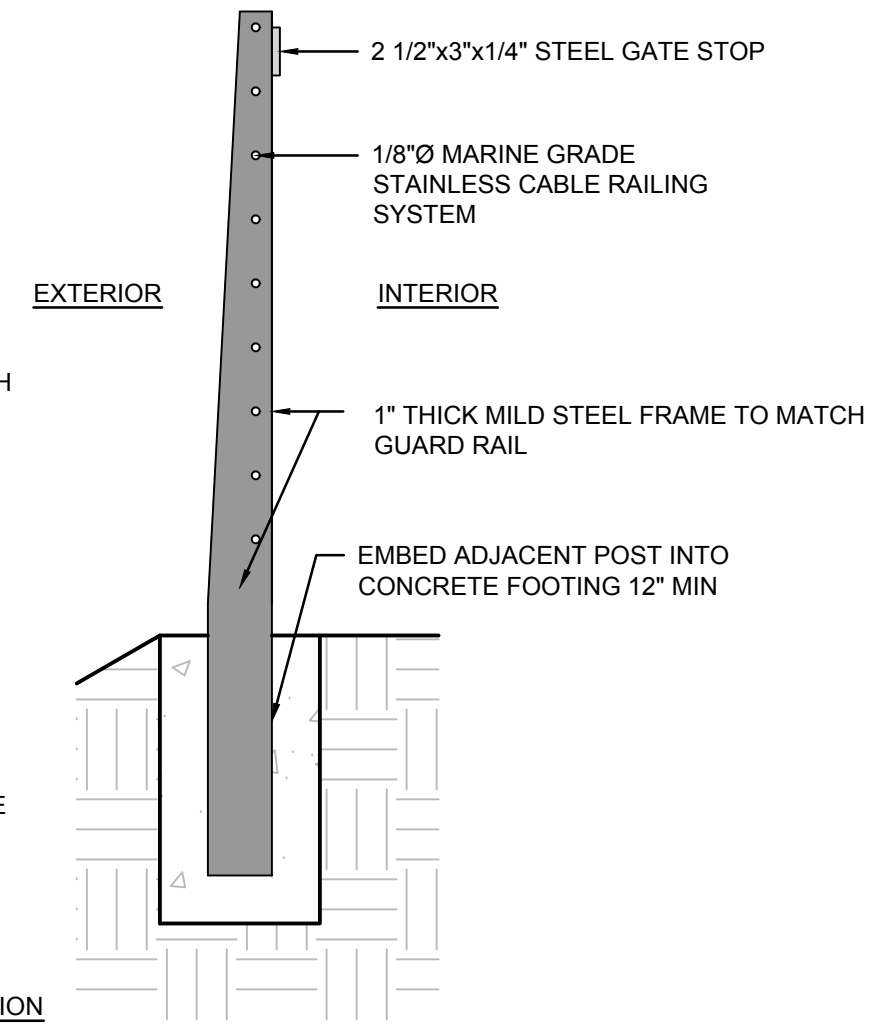
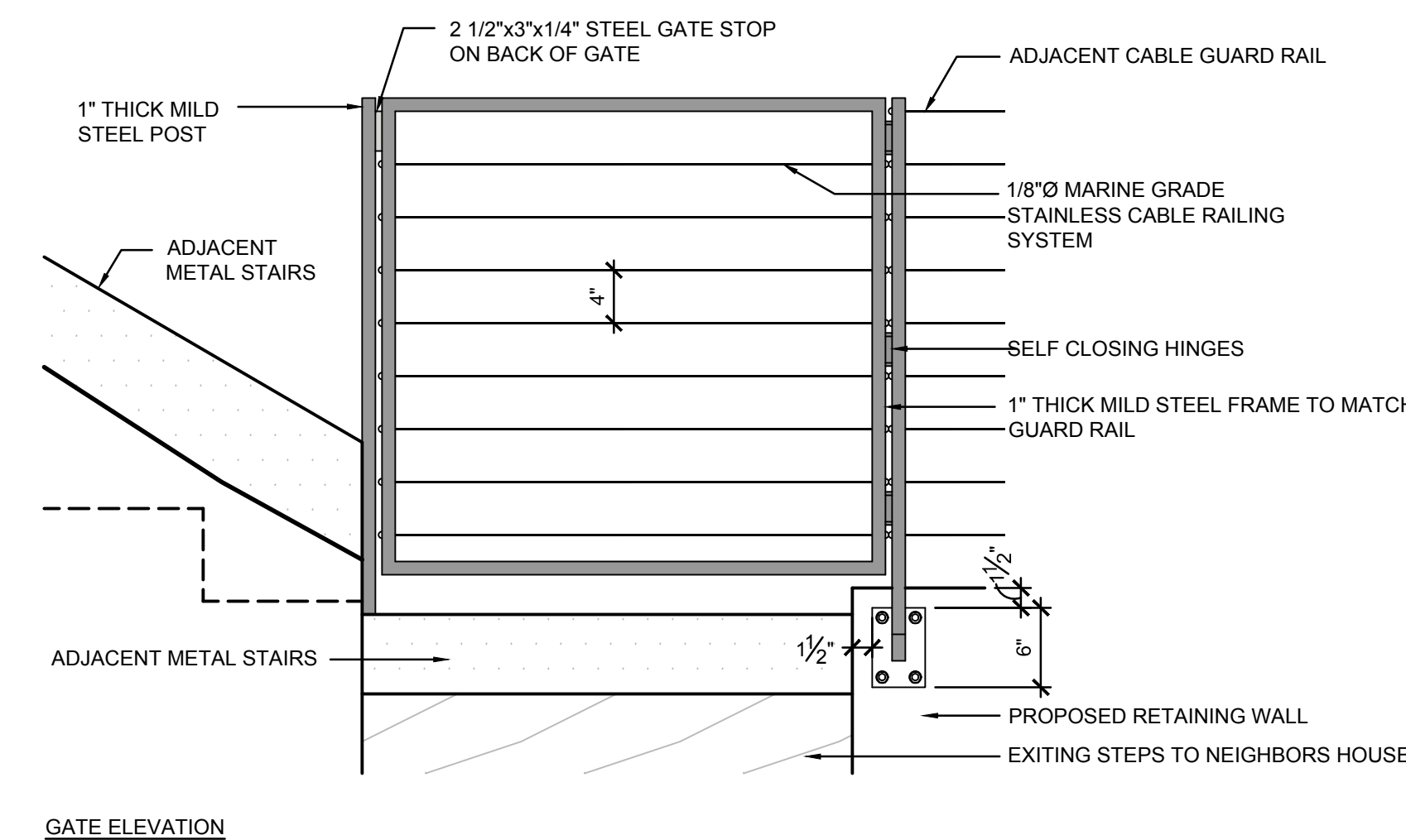
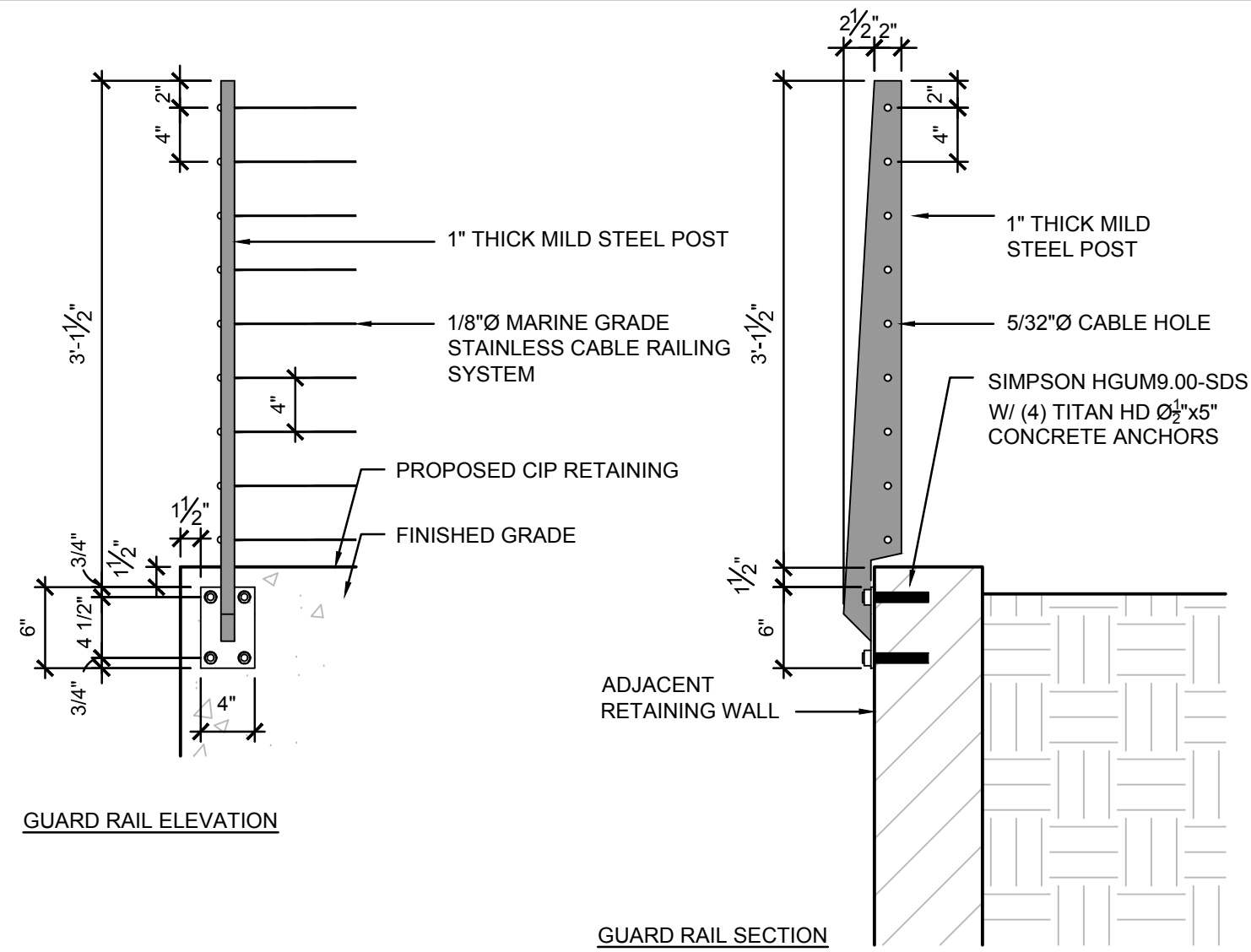
3 W-PILE SHORING DETAIL
3/4" = 1'-0" P-RE-MAP1-15



4 CAST-IN-PLACE RETAINING WALL - FOOTING
1/2" = 1'-0" P-RE-MAP1-05

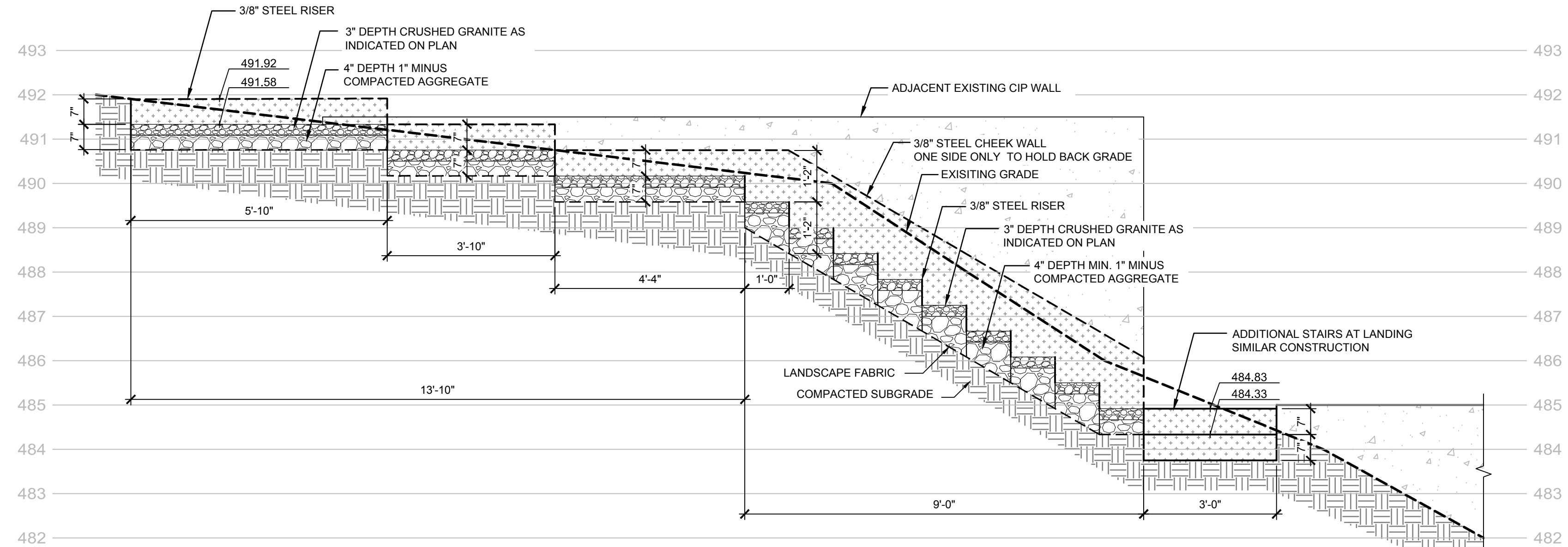
BY	KJ	RR	RR	RR
DATE	10/17/2019	11/23/2020	3/10/2021	4/08/2021
REVISIONS	PERMIT PLAN	PERMIT PLAN - 2ND SUBMITTAL	PERMIT PLAN - 3RD SUBMITTAL	PERMIT PLAN - 3RD SUBMITTAL CORRECTION
1148 NW LEARY WAY, SEATTLE, WA 98107 P. 206.708.1862 SCJSTUDIO.COM				
Structural Details Maple Grove Residence 4909 E. Mercer Way Mercer Island, WA 98040				
DESIGNER:	KJ			
DRAWN BY:	RR			
APPROVED BY:	MG			
DATE:	April 8, 2021			
JOB No:	2551			
DRAWING FILE No:				
DRAWING No:	LA3.2			
SHEET No:	9 OF 10			

Apr 08, 2021 3:26:59pm - User: rlebedeh.com
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1 CABLE GUARD RAIL AND GATE
1" = 1'-0"

P-RE-MAP1-12



3 MILD STEEL STEPS WITH CRUSHED GRANITE INFILL
1/2" = 1'-0"

P-RE-MAP1-11

REVISIONS	DATE	BY
△	10/17/2019	KJ
△	1/23/2020	RR
△	3/10/2021	RR
△	4/08/2021	RR

SCJ STUDIO
LANDSCAPE ARCHITECTURE

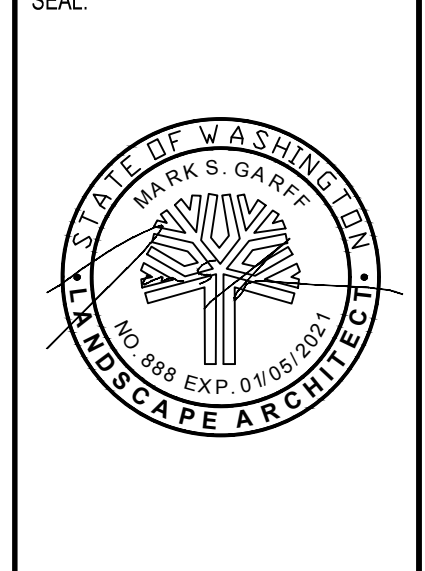


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P: 206.708.1868
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Permit Details

Maple Grove Residence
4909 E. Mercer Way
Mercer Island, WA 98040

SHEET TITLE:
PROJECT NAME:



DESIGNER:	KJ
DRAWN BY:	RR
APPROVED BY:	MG
DATE:	April 8, 2021
JOB No:	2551
DRAWING FILE No:	
DRAWING No:	LA3.3
SHEET No:	10 OF 10

Apr 08, 2021 3:27:16pm - User: rebekeh.spong
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